



Inspection Report

Sample Report

Property Address:
12345 S Sample Road
Jupiter Florida 33478



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Date: 3/11/2019	Time: 10:00 AM	Report ID: Sample Report #6
Property: 12345 S Sample Road Jupiter Florida 33478	Customer: Sample Report	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI)= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

National Association of Certified Home Inspectors, Florida Association of Building Inspectors

In Attendance:

Seller and Buyer Agents Only

Approximate age of building:

1982

Type of building:

Single Family (1 story)

Temperature:

Over 80

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 3 days:

Unknown

1. Exterior

The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar systems, Inspect swimming pools or spas, Inspect septic systems or cesspools, Inspect playground equipment, Inspect sprinkler systems, Inspect drain fields or drywells, Determine the integrity of the thermal window seals or damaged glass.









Styles & Materials

Siding Style:

Vinyl Siding

Siding Material:

Composite board

Exterior Entry Doors:

Sliders

Glass Doors

Appurtenance:

Courtyard with Pool

Patio

Screened Rear Patio

Driveway:

Concrete

Dirt

		IN	NI	NP	RR
1.0	WALLS	•			
1.1	SIDING, FLASHING AND TRIM	•			
1.2	EAVES, SOFFITS AND FASCIAS	•			
1.3	DOORS, DOOR FRAMES (Exterior)	•			
1.4	WINDOWS, SHUTTERS AND SCREENS	•			
1.5	DECKS, BALCONIES, STEPS, PORCHES, PATIOS AND SCREEN ENCLOSURES				•
1.6	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO, WALKWAYS, GATES AND FENCING				•
1.7	INGROUND POOL, SPA AND EQUIPMENT AND POOL DECK AND FENCING				•
1.8	IRRIGATION SYSTEM AND COMPONENTS			•	
1.9	PESTS, RODENTS, ANIMALS	•			
1.10	EXTERIOR ELECTRICAL				•
1.11	EXTERIOR VENTS				•
1.12	OPEN GAPS				•
1.13	OTHER				•

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IN NI NP RR

Comments:

1.0 If the exterior of the home has been recently painted over, the paint can hide surface signs such as cracking which can indicate more serious defects. Or it can hide moisture, moisture damage, mold and evidence of pest activity. The inspector can only report on what is visible at the time of the inspection without intrusive means.

1.2 Fascia requiring sealant/painting. Observed section which could have some deterioration/moisture damage. Not accessible due to pitch of roof. This should be monitored and any deteriorated sections of fascia should be replaced as necessary. Other areas of possible fascia repair but not definitive due to being painted over. Note: This section of the house has a high pitched roof with no attic access. The conditions behind and under this roofing section is not accessible and conditions are unknown.



1.5 (1) Decking appears in good overall condition. Visible areas underneath the decking appear in good overall condition.



1.5 (2) The second floor deck does not appear to have flashing along the full length of the deck. Flashing helps to push water away from the structure. If there is no flashing or the flashing is deficient, water can possibly work its way underneath the siding and cause unseen water intrusion damage. The method of attachment to the structure is also not visible. This area should be monitored for signs of leakage and corrected if found.



📍 1.5 (3) Second floor handrail has lateral movement. It should be properly/fully secured.



🏠 1.5 (4) There are open gaps at the lower sides of the rear deck/patio doors. This can allow water to intrude behind the siding. Recommend sealing.



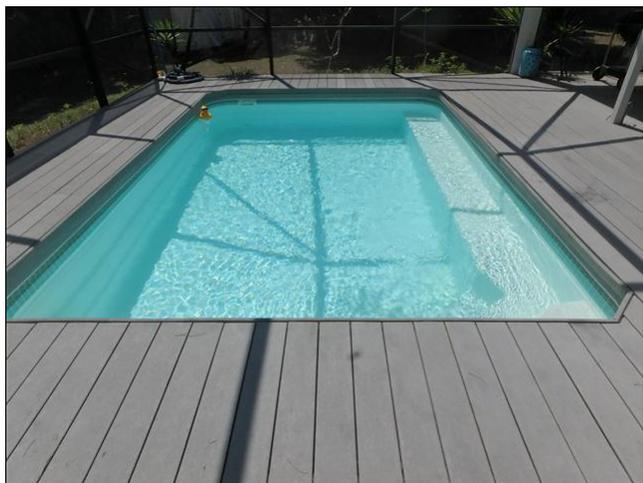
🏠 1.6 (1) Multiple areas of ground and soil erosion adjacent to the building structure around the perimeter. It is recommended to grade these areas using aggregate or other means to allow water to drain away from building.



🏠 1.6 (2) Vegetation in contact with the structure should be trimmed back or removed. Vegetation in contact with the structure can allow moisture and pest entry into the home.



1.7 (1) There is an above-ground pool installed at the rear of the property. Pool inspection is not part of a home inspection. Only a courtesy visual for overall condition is offered. The pool, pool surface, pump, filter and visible piping appear in overall good condition. The pump is operational and water is flowing through the system as designed. The filter is not opened for inspection. As a matter of general maintenance, recommend having the pool serviced. The filter should be checked and replaced if necessary, and the water should be tested for ph and chlorine levels. As a new owner, it is recommended to have the pool serviced and put on a maintenance program.



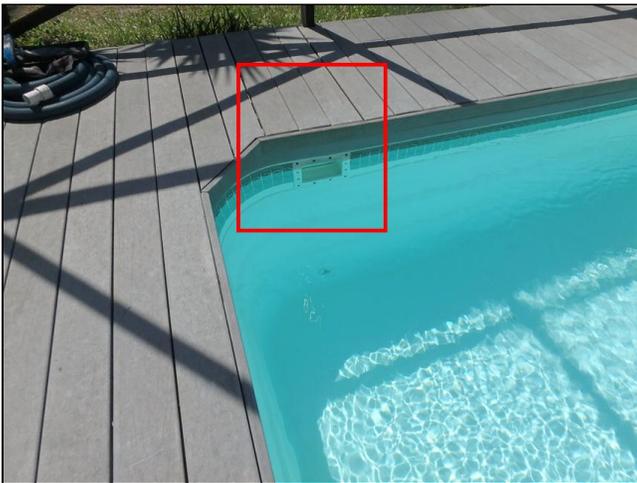
1.7 (2) Area of filter with a leak



1.7 (3) There does not appear to be a bonding wire to the pool pump. Bonding wires properly bond/ground the pool system to prevent electrical hazards.



1.7 (4) There does not appear to be access or presence of a skimmer. No attempt to search below the decking. No further action was taken.



1.8 There is no installed permanent irrigation system.

1.9 There are a few visible bees/bee hives around the property.



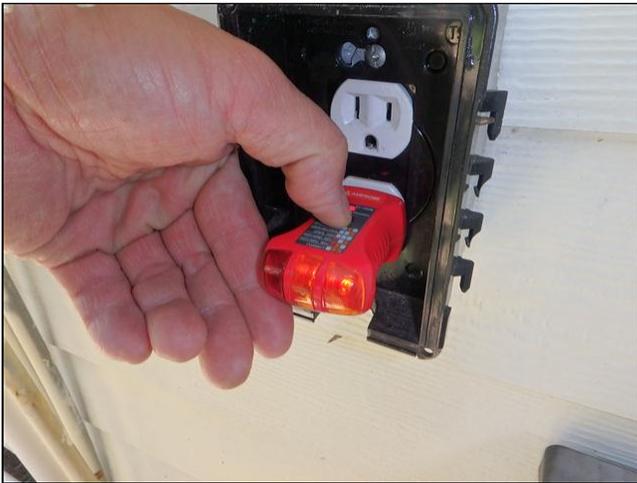
📍 1.10 (1) Uncovered box with live wiring



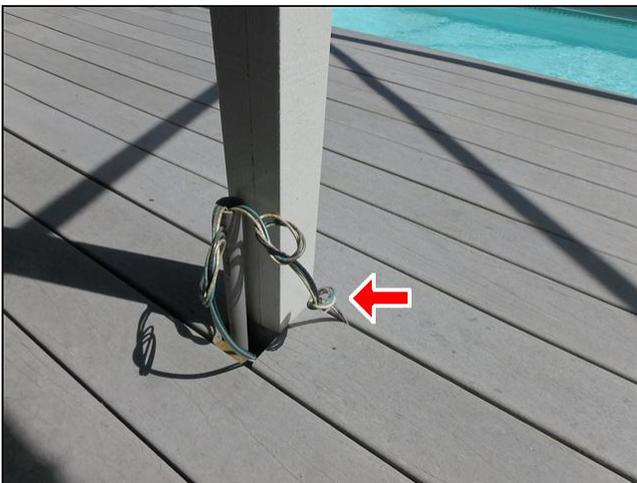
📍 1.10 (2) Loose, detaching exterior light fixture



🏠 1.10 (3) The exterior electrical receptacle did not have GFCI protection. The GFCI receptacle should be replaced.



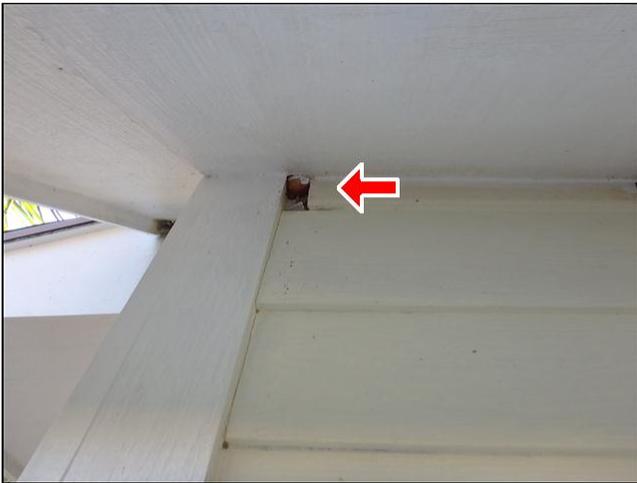
🏠 1.10 (4) Open visible wiring at the rear deck should be properly housed or removed



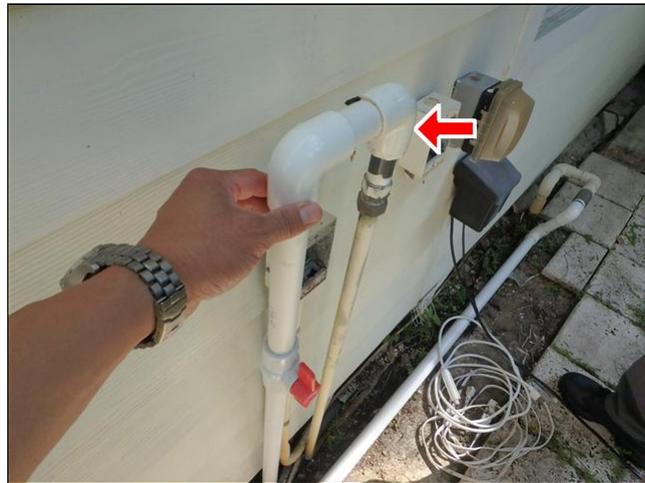
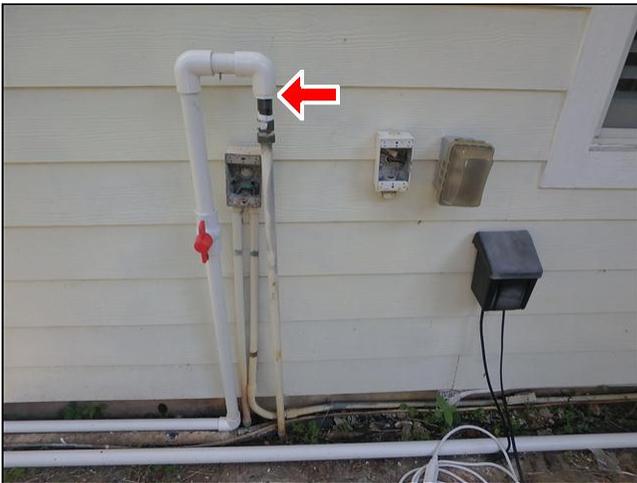
🏠 1.11 Dryer vent should not be screened otherwise it will accumulate lint and cause reduced air flow and increase risk of fire

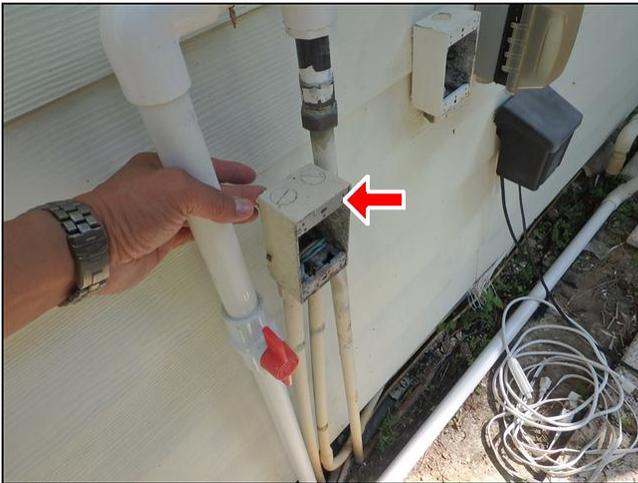


🏠 1.12 Open gaps in exterior walls should be sealed and finished to prevent moisture and pest entry.



🏠 1.13 (1) Unsecured water line





1.13 (2) Exterior electrical meter housing is deteriorated. The condition behind this area is not known.



1.13 (3) There is a solar heating system installed on the roof. It was conveyed to me by the seller that the system does not work and has a leak. This system is not within the scope of an inspection and is disclaimed and not inspected or tested.

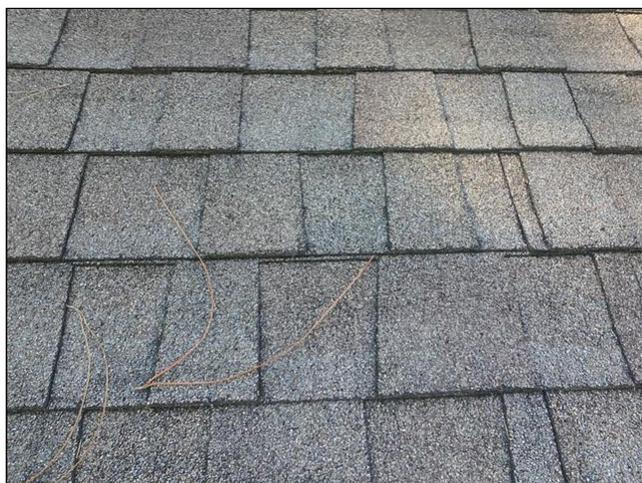


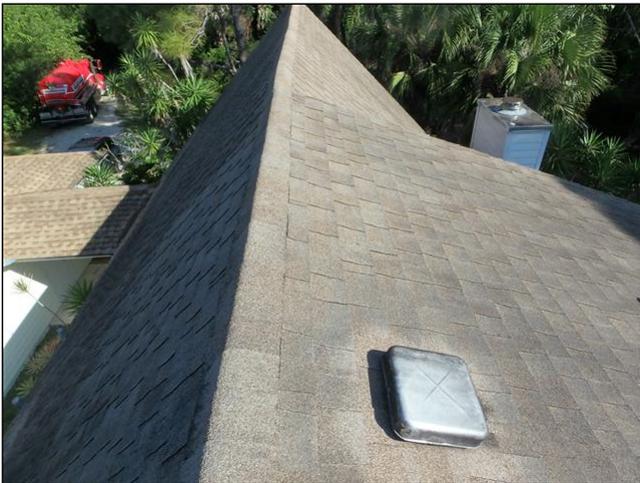
The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Roof

The inspector shall inspect from ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, inspect antennae, lightning arresters, or similar attachments.







Styles & Materials

Roof Covering:

Architectural
Asphalt/Fiberglass

Viewed roof covering from:

Walked roof
Not all roof surfaces walked

Sky Light(s):

One
Fixed

Chimney (exterior):

Vinyl siding

Roof Structure:

Prefabricated Wood Trusses
Plywood
Sheathing

Roof-Type:

Gable

Method used to observe attic:

Walked
Partially Inaccessible
Not all areas were visible

Attic info:

Scuttle hole

		IN	NI	NP	RR
2.0	ROOF COVERINGS				•
2.1	FLASHINGS	•			
2.2	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS				•
2.3	ROOF GUTTER & DRAINAGE SYSTEMS				•

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IN NI NP RR

		IN	NI	NP	RR
2.4	ROOF STRUCTURE AND ATTIC	•			
2.5	EVIDENCE OF ACTIVE MOISTURE OR LEAKS	•			
2.6	EVIDENCE OF PREVIOUS LEAKS	•			
2.7	EVIDENCE OF RODENT OR PEST ENTRY	•			

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IN NI NP RR

Comments:

2.0 (1) While the inspector makes every effort to find all areas of concern, some areas can go unnoticed because they are hidden from view. Roof coverings and skylights can appear to be leak proof during inspection under favorable weather conditions but can still leak during a rain event. A home inspection is not guarantee a roof will not leak.

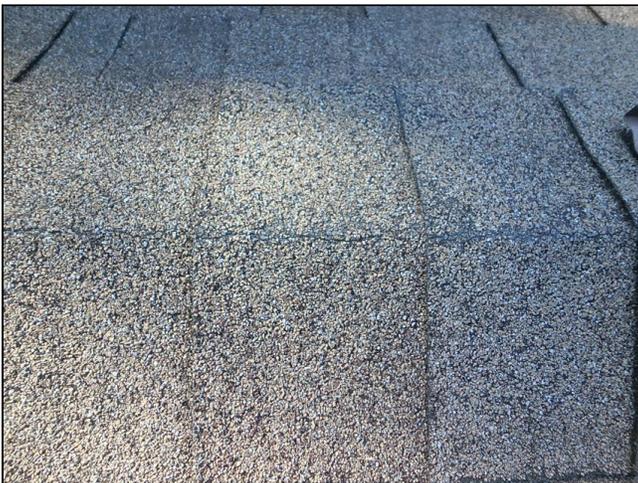
There is no evidence of obvious roof damage at the roof level that would allow water to leak. There was evidence of previous water staining in the (limited access) attic, and no evidence of water leaks or water staining at the ceilings within the living spaces. However, areas which are not accessible or visible can not be inspected or reported on. All interior ceilings were scanned with an infrared thermal imaging camera and are non resultant for any active moisture unless noted elsewhere in this report.

📍 2.0 (2) There is a home made "ladder" at the roof adjacent to the skylight. It is deteriorated and is not safe to use. The attachment screws through the roofing can cause leaks. It should be removed and any attachment holes properly sealed.





 **2.0** (3) Visible evidence of shingle degranulation and unbonded tiles. As roof coverings age and weather, they start to lose their granules and become less effective as they approach life expectancy.





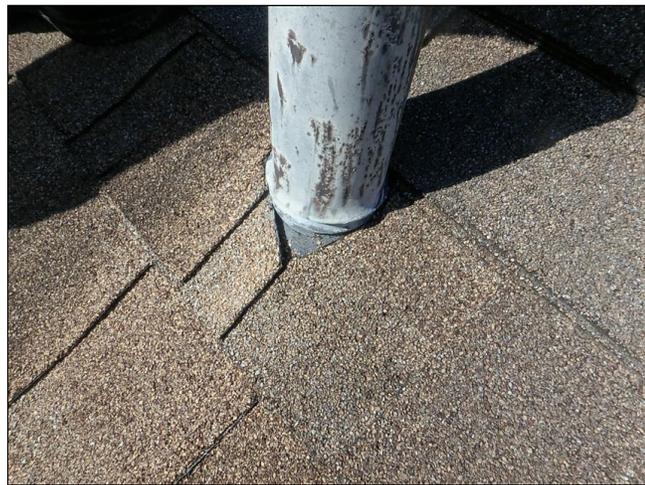
📍 2.0 (4) The chimney has soil and vegetation type debris accumulation. This area is highly susceptible to water intrusion. This area should be maintained clear and clean of debris. Due to the soil and debris, it is not known if there is the presence of a cricket/flashing installed. This area should be monitored.



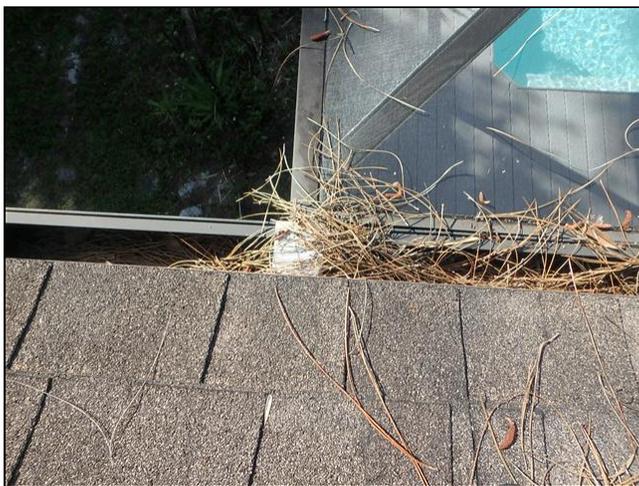
📍 2.2 (1) This area of the chimney should be monitored. It is ideal to have kick flashing installed in order to divert rainwater away from the chimney. These areas could be possible areas of water intrusion.



2.2 (2) Damaged shingle/flashing at a roof penetration. This could be an area of potential leakage



2.3 The gutters should be serviced and cleaned to prevent buildup of debris and obstruction of downspouts



The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable. Appliances are not required to be pulled out of their installed locations. Appliances which utilize water such as washers and dishwashers can have hidden leaks which are not visible to the inspector. Areas behind these appliances cannot be checked and conditions are not guaranteed.





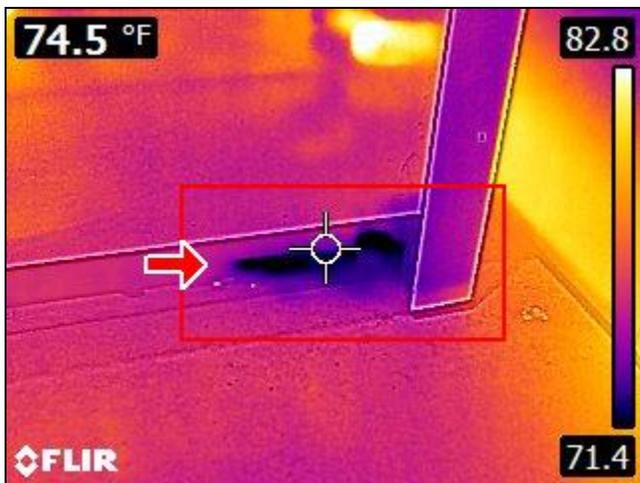
		IN	NI	NP	RR
3.0	DISHWASHER				•
3.1	RANGES/OVENS/COOKTOPS/RANGE HOOD				•
3.2	FOOD WASTE DISPOSER				•
3.3	MICROWAVE COOKING EQUIPMENT		•		
3.4	REFRIGERATOR	•			
3.5	WASHING MACHINE AND DRYER	•			

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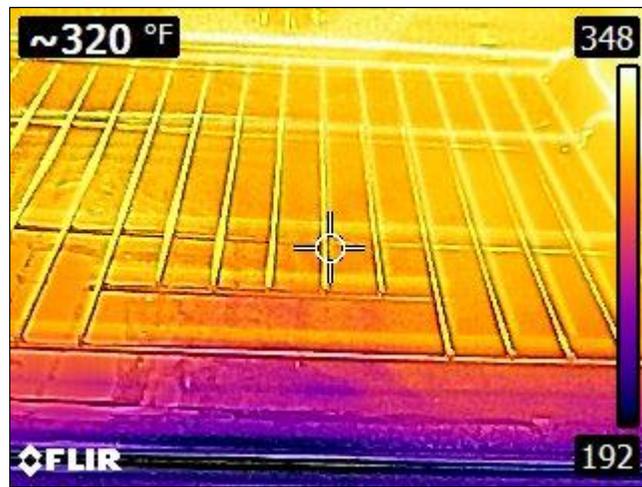
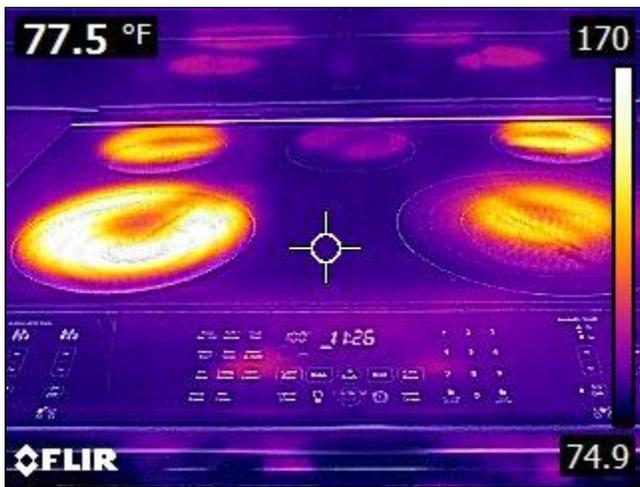
IN NI NP RR

Comments:

 **3.0** There is a leak at the right side of the front of the dishwasher. Water/moisture was noted using the thermal imaging camera.



3.1 (1) Range burners all worked as expected. The oven operated normally and as expected with satisfactory temperatures



3.1 (2) The range hood vent fan is noisy on the higher settings but is normal on the low setting.

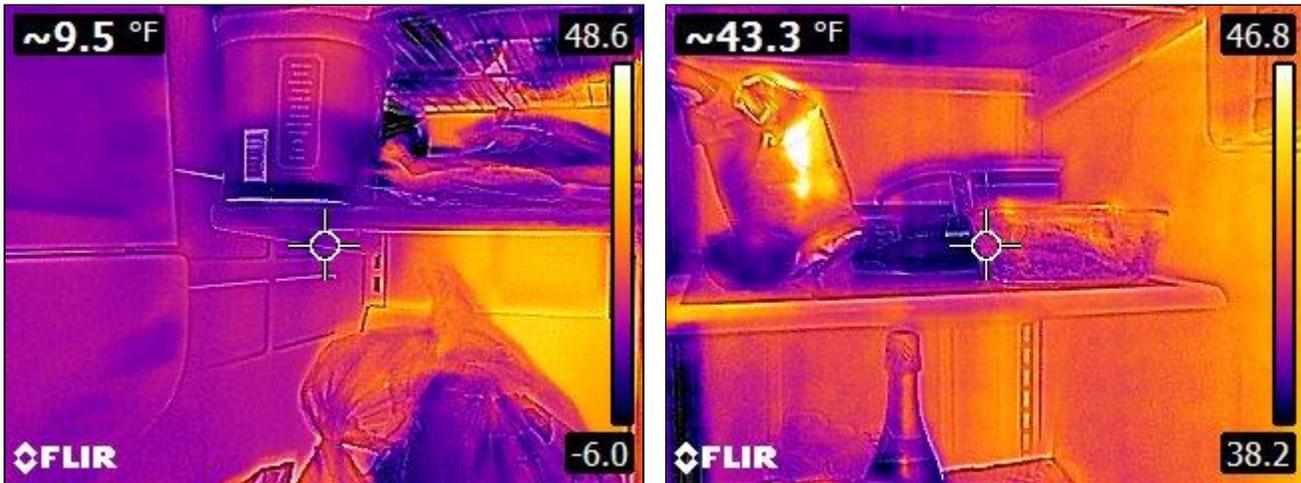


3.2 Waste disposal is operating but makes excessive noise.



3.3 The microwave oven was a counter top model and was not inspected as part of a standard inspection because a countertop model is not considered a permanent appliance.

3.4 (1) The refrigerator and freezer were operating at expected temperatures as set by the built-in temperature controls.



3.4 (2) Note: Ice was present in the ice maker of the refrigerator



3.5 Both the washer and dryer operated as expected. The washer was set to a light load and at the warm water setting. It completed through each cycle and there is no indications of water leaking. The dryer was tested with no clothing inside and completed its cycle successfully.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Doors, Windows and Interior

The inspector shall: Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

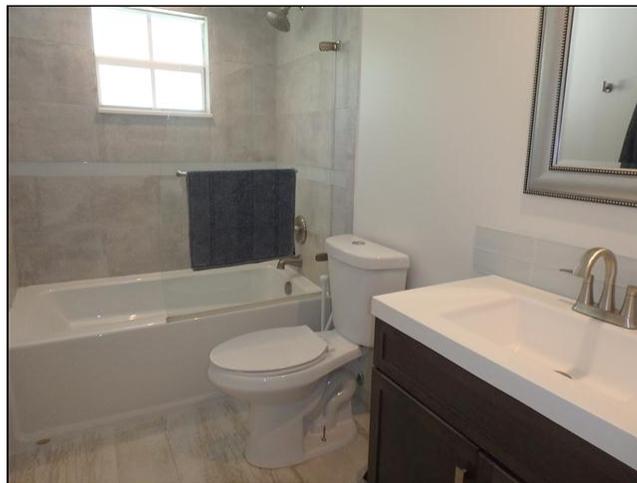
The inspector is not required to: Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

A home inspection is a visual inspection only. The inspector will not perform any invasive actions such as removing any sections of walls, floors, ceilings, cabinets or appliances in order to access or inspect behind and between those areas. There is no way to see behind or through walls and these areas are outside the scope of this home inspection.









Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall
Tile

Floor Covering(s):

Tile
Laminate

Interior Doors:

Hollow core

Window Types:

Single-hung
Sliders

Cabinetry:

Wood

Countertop:

Stone

		IN	NI	NP	RR
4.0	CEILINGS, WALLS, FLOORS and TRIM				•
4.1	STEPS, STAIRWAYS, BALCONIES AND RAILINGS				•
4.2	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS				•
4.3	KITCHEN	•			
4.4	SHOWERS AND BATHS				•
4.5	DOORS and HARDWARE (REPRESENTATIVE NUMBER)	•			
4.6	WINDOWS (REPRESENTATIVE NUMBER)				•
4.7	EVIDENCE OF MOISTURE OR MOLD				•
4.8	EVIDENCE OF PREVIOUS MOISTURE	•			
4.9	WOOD DESTROYING ORGANISIMS, PESTS		•		
4.10	IR THERMAL	•			
4.11	OPEN GAPS				•

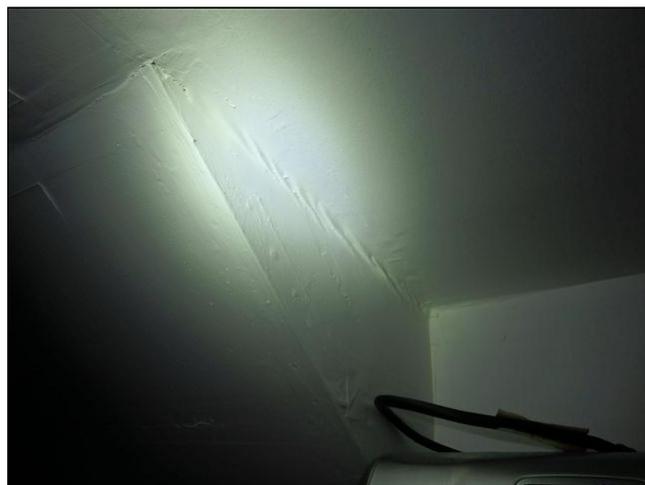
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IN NI NP RR

Comments:

4.0 (1) If the interior of the home was painted over, the paint can hide surface signs such as cracking which can indicate more serious defects. Or it can hide moisture, moisture damage, mold and evidence of pest activity. The inspector can only report on what is visible at the time of the inspection without intrusive means.

 **4.0** (2) There are minor surface type imperfections to the finished drywall of the walls or ceilings. These are considered cosmetic in nature but noteworthy since they were not originally designed that way. They should be repaired and finished.





 4.1 The spacing between the bannisters are greater than 4 inches which in width which potentially could be a child safety issue. If small children will be residing in the home, attention should be given to this spacing.



4.2 Several cabinet doors do not properly line up. Misalignment possible due to hinge adjustment or cabinets not installed squarely.



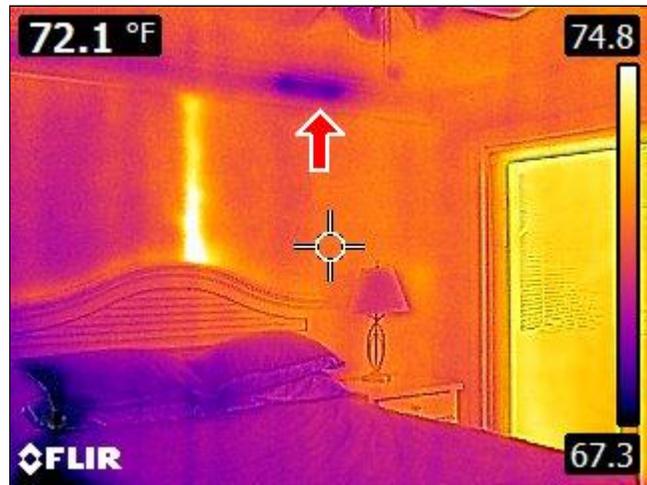
4.4 There are open gaps at the water penetrations and these gaps should be sealed to prevent moisture and pest entry and drawing air from the wall cavities



4.6 Numerous windows are difficult to operate. Recommend service to all windows for proper and efficient operation.



4.7 (1) Area in the first floor bedroom identified to have elevated moisture levels. These areas should not have elevated moisture levels. These areas should be monitored. If the moisture level continues or increases, then invasive measure must be taken in order to identify the origin and correct the issues.



4.7 (2) This appears to be an anomaly. The area was tested with a moisture sensor and moisture meter and were no resultant for moisture. It is not know why the difference in temperatures are present at that specific section of ceiling. Monitor this area for further signs of moisture.



4.7 (3) Dishwasher has a leak at the lower, right corner

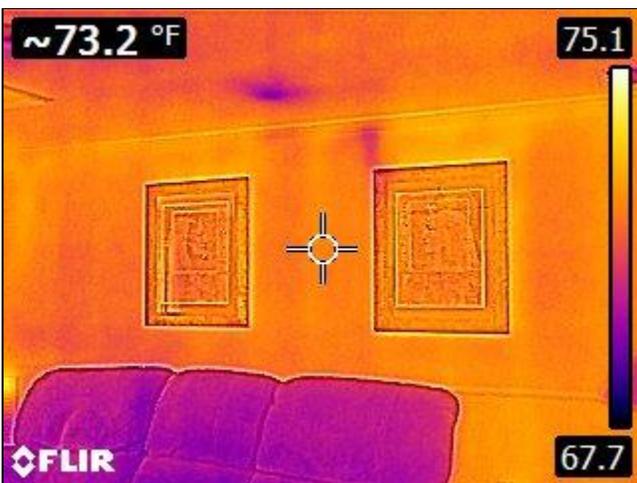
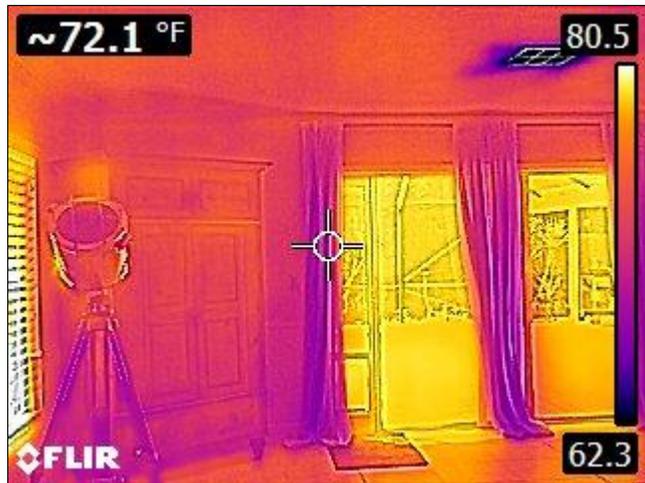
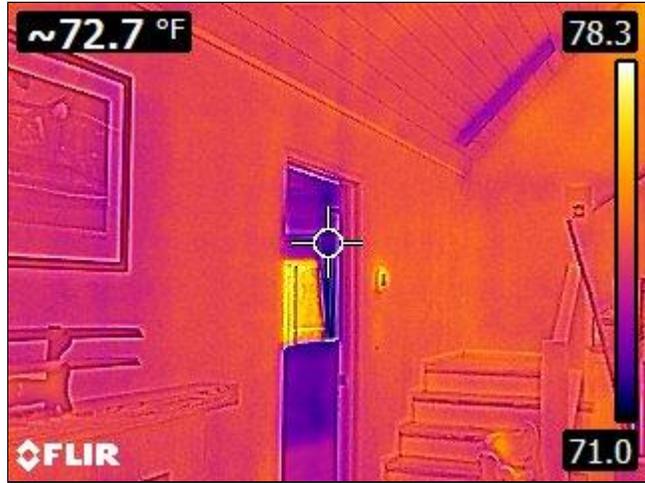


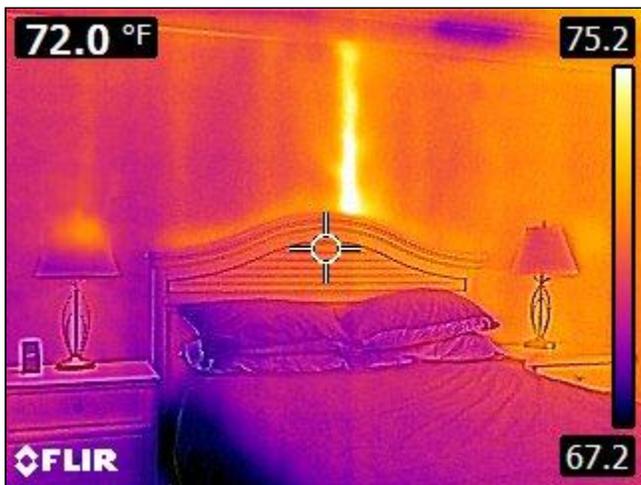
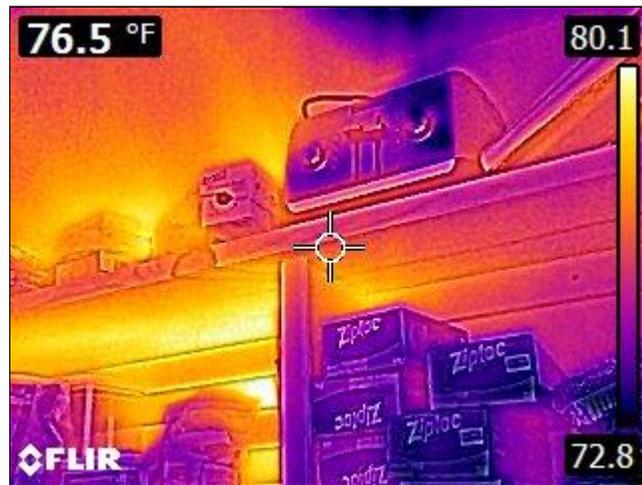
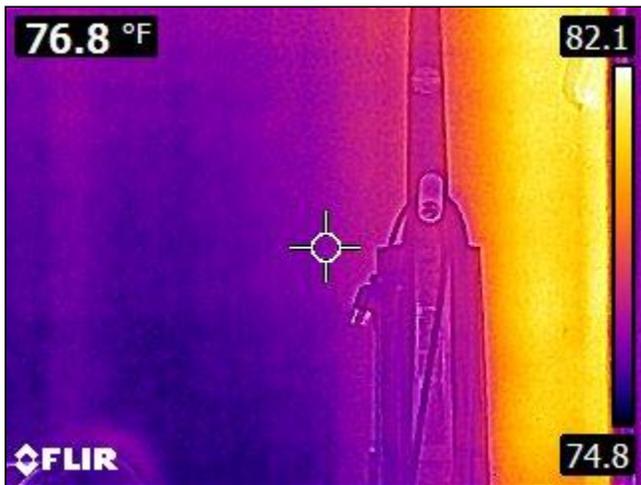
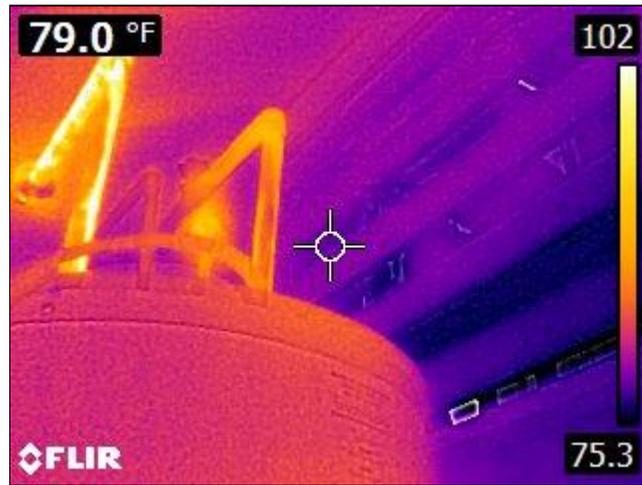
4.7 (4) Small section of wall adjacent to the shower has elevated moisture levels.

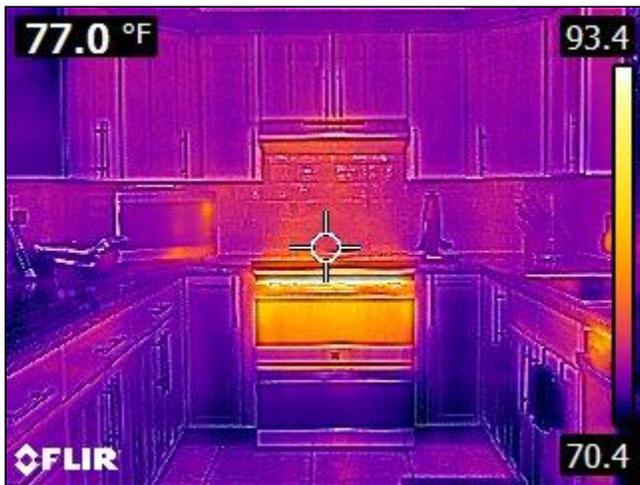


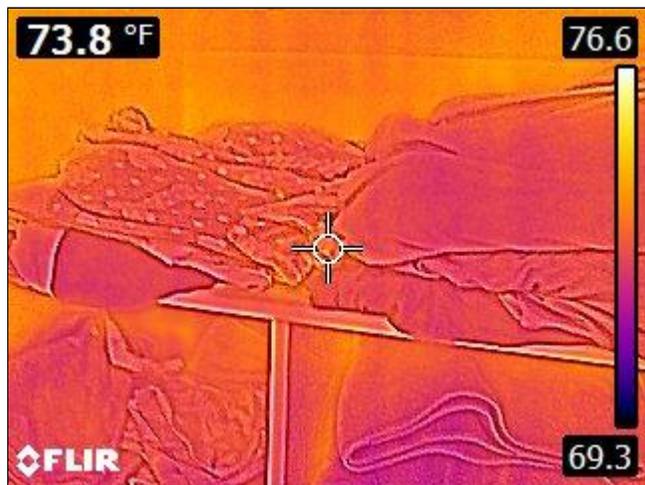
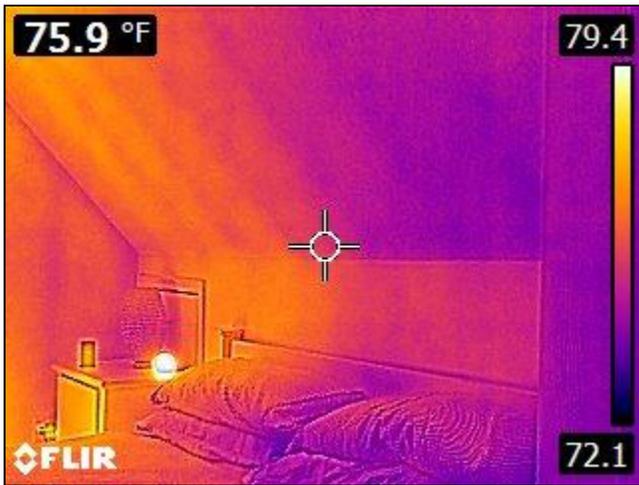
4.9 The wood destroying organism inspection was outsourced to a pest control company. They will provide a separate report on their findings.

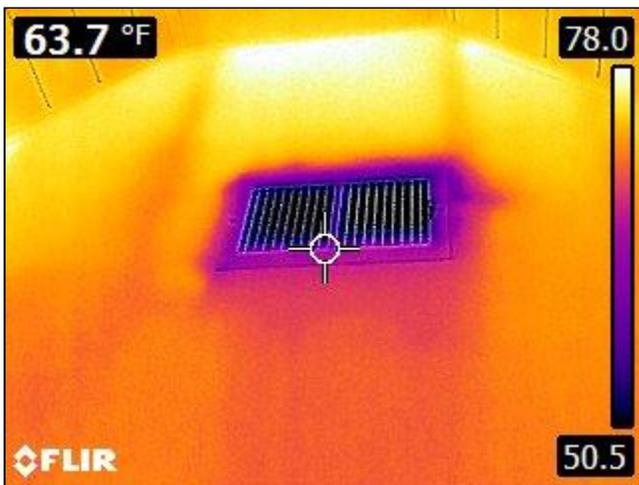
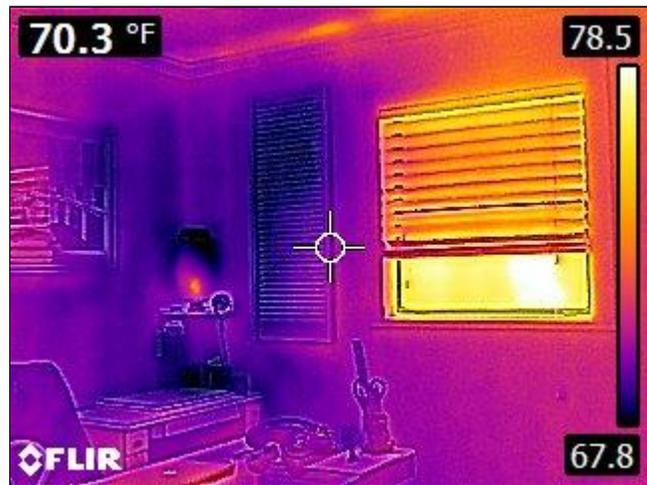
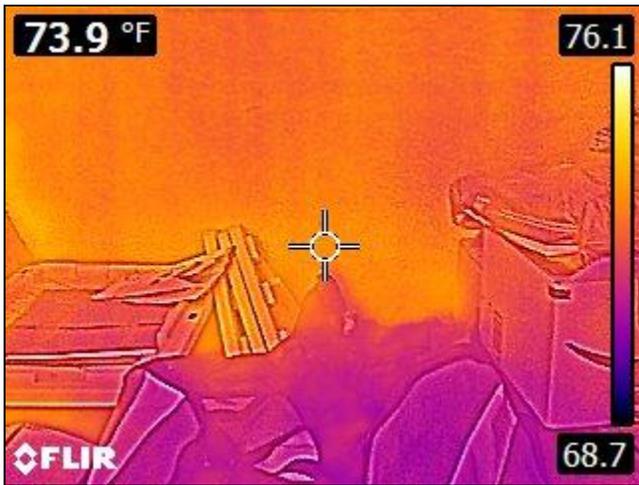
4.10 A second dedicated pass through the entire house was conducted using an infrared thermal camera and moisture meters solely to look for any signs of moisture or water intrusion. Every wall, ceiling and floor was scanned and all were non-resultant for moisture except as noted in another section. **Keep in mind that there is no way to see through walls and conditions behind walls are unknown, and outside the scope of a home inspection.**



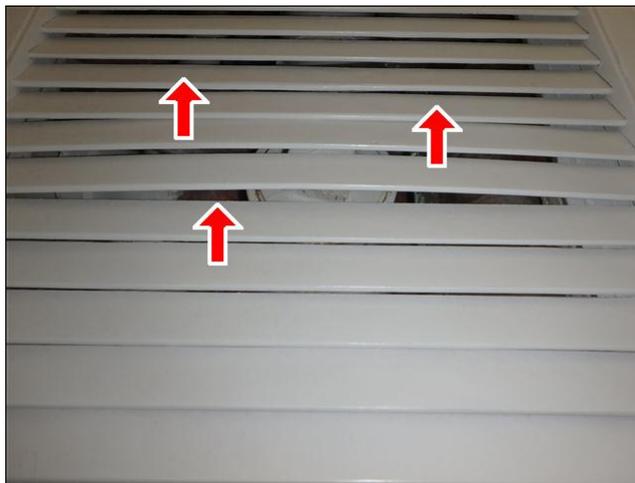








4.11 There is a louver installed at the wall adjacent to the washer and dryer. It appears to be covering a section of wall that has been opened up. There may have been previous plumbing work performed at this area. This louver is open to the wall cavity and can possibly be open to the attic. Air flow can potentially draw hot, moist attic air into the living spaces and vice versa. Recommend replacing this louver with a solid cover.

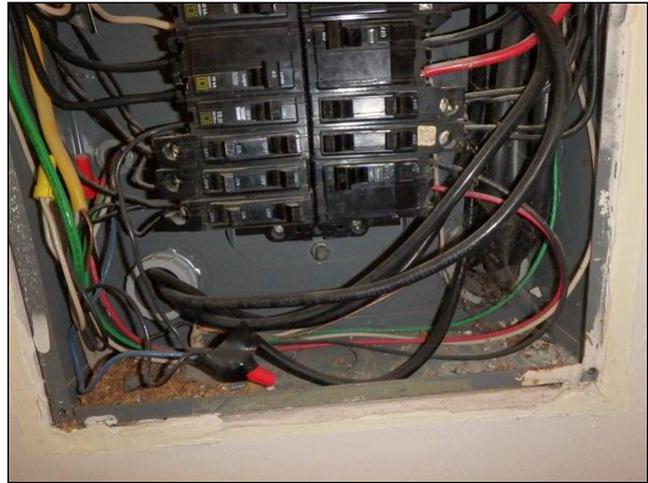
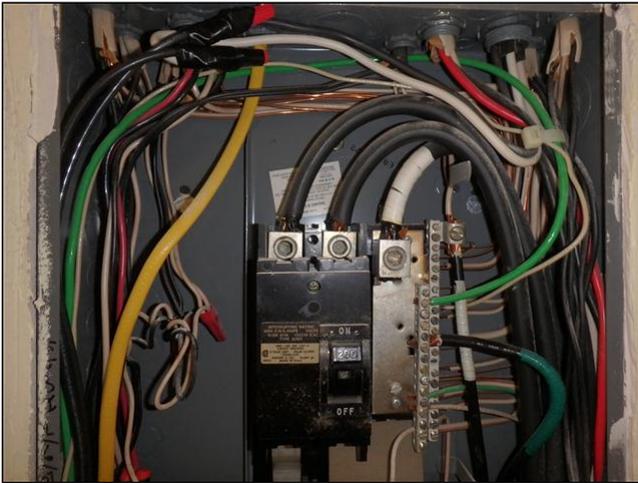


The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Electrical

The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling.



Styles & Materials

Panel Type:

Circuit breakers

Electrical Service Conductors:

Below ground

Panel capacity:

200 AMP

Electric Panel Manufacturer:

SQUARE D

Branch wire 15 and 20 AMP:

Copper

Wiring Methods:

Conduit
Where Visible

		IN	NI	NP	RR
5.0	LOCATION OF MAIN AND DISTRIBUTION PANELS	•			
5.1	SERVICE ENTRANCE LINES	•			
5.2	METER BOX, MAIN DISCONNECT, SERVICE GROUNDING/BONDING and MAIN and DISTRIBUTION PANELS	•			
5.3	GROUNDS AND BONDING	•			
5.4	COVERS, BOXES, HOUSINGS AND CONDUIT	•			
5.5	SWITCHES, RECEPTACLES, LIGHT FIXTURES, COMPONENTS and VISIBLE WIRING (observed from a representative number)	•			
5.6	POLARITY AND GROUNDING OF RECEPTACLES	•			
5.7	OPERATION OF GFCI or AFCI (GROUND/ARC FAULT CIRCUIT INTERRUPTERS)	•			
5.8	LOW VOLTAGE EQUIPMENT AND WIRING		•		

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

5.0 Main distribution panel is located at the rear room

5.8 Low voltage systems such as alarm systems and communications systems are not inspected or tested as part of a standard home inspection.

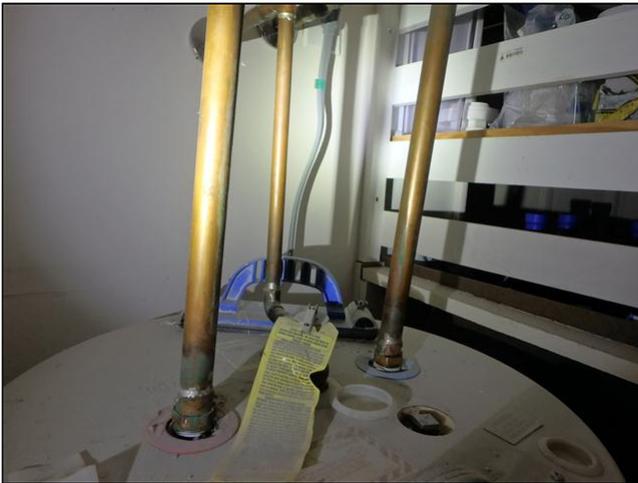
The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing

The inspector shall: Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

The inspector is not required to: Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.





Styles & Materials

Water Source:

Well

Water Filters:

Whole house conditioner

Sewage System:

Septic

Plumbing Water Supply (into home):

Copper
PVC

Plumbing Water Distribution (inside home):

Copper
Where Visible

Drain/Waste/Vent Piping Material:

PVC

Water Heater Power Source:

Electric

Manufacturer:

GE

Water Heater Capacity:

40 Gallon

Water Heater Age:

1999

		IN	NI	NP	RR
6.0	MAIN WATER SHUT-OFF DEVICE	•			
6.1	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
6.2	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•			
6.3	SINKS, SHOWERS AND BATHS	•			
6.4	HOT WATER SYSTEMS, CHIMNEYS, FLUES AND VENTS				•
6.5	WHOLE HOUSE FILTRATION SYSTEM		•		
6.6	ACTIVE LEAKS	•			
6.7	SEPTIC SYSTEM				•

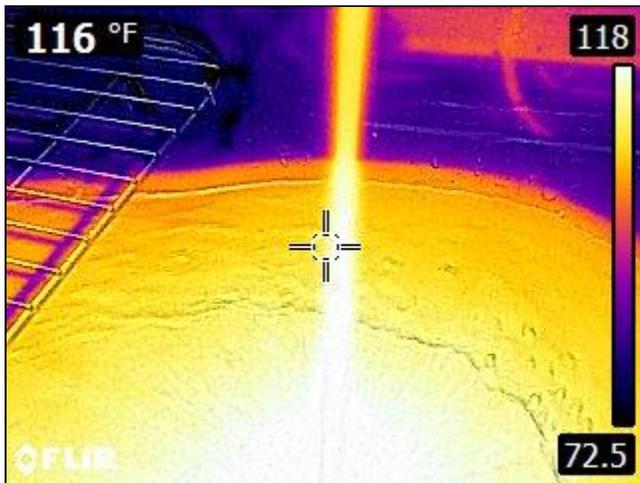
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

6.0 The main water shut-off valve is located at the rear of the house

6.4 (1) The hot water temperature was 116 degrees fahrenheit at the time of the inspection.



6.4 (2) The water heater has exceeded the average life expectancy for similar units, the system is operational at this time but it can be anticipated that a replacement may be necessary in the near future

6.5 (1) The whole house filtration system was outsourced and inspected by Water Solutions of South Florida. Recommend following the guidance of their findings and report.



6.5 (2) There are no bonding wires to the well pump. This can be a electrical safety hazard



6.7 There is a septic system installed on the property. The septic system inspection was outsourced to a third party septic company. Their report will be made available in addition to this report



Filter Type:

Washable
Disposable

Cooling Equipment Type:

Split unit

Central Air Manufacturer:

CARRIER

Number of AC Units:

One

System Age:

2017
2018

System Size:

4 Ton

Air Handler Location:

Attic

Condenser Unit Location:

Installed on Ground at Exterior

Condensate Overflow Shut-off Switch:

Present and installed

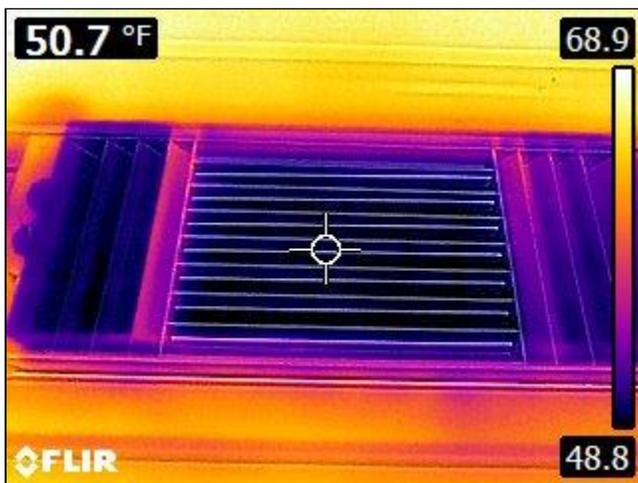
		IN	NI	NP	RR
7.0	COOLING AND AIR HANDLER EQUIPMENT	•			
7.1	AIR HANDLER CLOSET			•	
7.2	COOLING SYSTEM PERFORMANCE	•			
7.3	HEATING SYSTEM PERFORMANCE	•			
7.4	NORMAL OPERATING CONTROLS	•			
7.5	AUTOMATIC SAFETY CONTROLS	•			
7.6	DISTRIBUTION SYSTEMS (including ducts and piping, insulation, air filters, registers and coils)	•			
7.7	PRESENCE OF INSTALLED HEATING AND COOLING SOURCE IN EACH ROOM	•			
7.8	CHIMNEYS, FLUES AND VENTS	•			
7.9	EVIDENCE OF MOISTURE OR MOLD	•			

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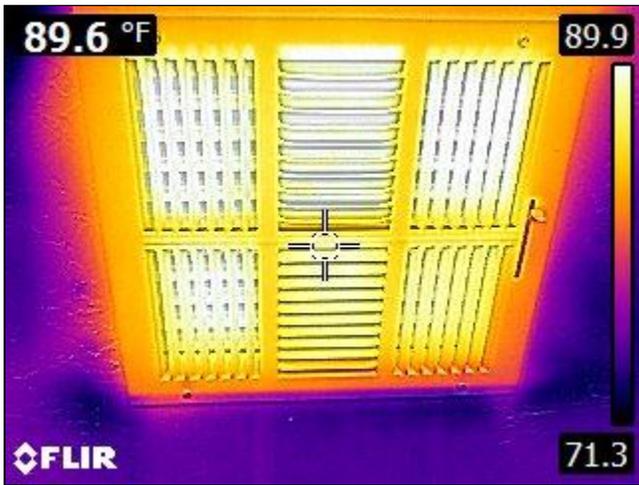
IN NI NP RR

Comments:

7.2 The AC system temperature differential test shows normal performance with a minimum of 14 degrees temperature differential between the supply and return registers



7.3 Heat was working as expected using normal controls



7.5 In line condensate overflow switch is present and installed. This is a safety device that helps to prevent damage due to an overflow of the condensate drain pan.



7.6 (1) The filter is dirty but can be used a little while longer. Recommend following manufacturers recommendation for filter replacement.



7.6 (2) The return plenum is in good overall condition. There are no condensation leaks or other moisture issues at the time of the inspection,



7.8 The fireplace is in good overall condition. However, before attempting to use it, it is recommended that a qualified chimney contractor perform a specific chimney inspection and evaluate the flue and other aspects to ensure it is safe to use.





The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation and Ventilation

The inspector shall inspect:

The insulation in unfinished spaces. The ventilation of attic spaces. Mechanical ventilation systems. And report on the general absence or lack of insulation.

The inspector is not required to:

Enter the attic or unfinished spaces that are not readily accessible or where entry could cause damage or pose a safety hazard to the inspector in his or her opinion. To move, touch, or disturb insulation. To move, touch or disturb vapor retarders.

Break or otherwise damage the surface finish or weather seal on or around access panels and covers. Identify the composition of or the exact R-value of insulation material. Activate thermostatically operated fans. Determine the types of materials used in insulation/wrapping of pipes, ducts, jackets, boilers, and wiring. Determine adequacy of ventilation.





Styles & Materials

Attic Insulation:

Fiberglass

Ventilation:

Ridge vents
Soffit Vents

Exhaust Fans:

None

Dryer Power Source:

220 Electric

Dryer Vent:

Not visible

		IN	NI	NP	RR
8.0	INSULATION IN ATTIC	•			
8.1	VENTILATION OF ATTIC AND FOUNDATION AREAS	•			
8.2	VENTING SYSTEMS (Kitchens, baths and laundry)	•			
8.3	VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Foundation, Crawlspace, Attic

The inspector shall inspect: The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

The inspector is not required to: Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.



Styles & Materials

Foundation:

Poured concrete

Floor Structure:

Slab

Wall Structure:

Masonry

Ceiling Structure:

Prefabricated Wood Trusses

		IN	NI	NP	RR
9.0	FOUNDATIONS, CRAWLSPACE AND ATTIC	•			
9.1	WALLS (Structural)	•			
9.2	COLUMNS OR OTHER STRUCTURAL MEMBERS	•			
9.3	FLOORS (Structural)	•			
9.4	CEILINGS (structural)	•			
9.5	EVIDENCE OF MOISTURE	•			
9.6	EVIDENCE OF PREVIOUS MOISTURE LEAKS	•			
9.7	EVIDENCE OF MOLD IN ATTIC/CRAWLSPACE	•			
9.8	EVIDENCE OF PEST ACTIVITY	•			
9.9	ELECTRICAL IN ATTIC/CRAWLSPACE	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

9.0 Attic access is limited due to physical height size of the attic space. Access and inspection was limited to the attic scuttle entrance. As a result only a portion of the attic was visible and or accessible. Other areas of the house does not have an attic due to the design. Attic access was very limited.

9.6 There is evidence of previous water leaks/water intrusion found in the attic at areas underneath the roof sheathing. These water stains appear to be from previous leaks/water intrusion. They are located near the edge of the roof and are not currently moist. But this should be monitored because the age of the previous staining is not known. This area could potentially leak during a rain event.





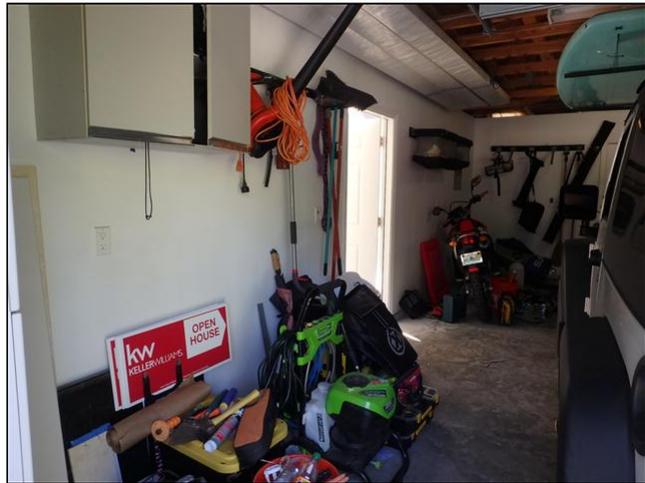
The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Garage

Inspection of the garage typically includes examination of the following: general structure; floor, wall and ceiling surfaces; operation of all accessible conventional doors and door hardware; vehicle door condition and operation proper electrical condition including Ground Fault Circuit Interrupter (GFCI) protection; interior and exterior lighting; stairs and stairways proper firewall separation from living space; and proper floor drainage.

If there are any renovations or additions in or to the garage that does not appear to be part of the original design of the house, it is recommended that the buyer exercise due diligence in ascertaining whether the work was done in a lawful manner and if there are any open permits or if permits are/were necessary for the work. These additions alters the space available for vehicle parking and or storage.





Styles & Materials

Garage Door Type:
One automatic

Garage Door Material:
Metal
Wind Load

Auto-opener Manufacturer:
LIFT-MASTER

		IN	NI	NP	RR
10.0	GARAGE WALLS AND CEILINGS	•			
10.1	GARAGE FLOOR	•			
10.2	GARAGE DOOR (S)	•			
10.3	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME			•	
10.4	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when light sensor is crossed)	•			
10.5	EXTERIOR ACCESS DOOR	•			
10.6	GARAGE WINDOWS			•	
10.7	EVIDENCE OF MOISTURE/PREVIOUS MOISTURE	•			
10.8	ELECTRICAL RECEPTACLES (GFCI)	•			
10.9	ELECTRICAL IN GARAGE	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

		IN	NI	NP	RR
10.10	OPEN GAPS	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

10.0 The garage was built on site in 2012 according to permits on file. The ceiling/roofing structure is manufactured wood truss and is open.



10.1 Noted cracking in the garage floor which are typical expansion/settlement type cracks.



10.4 The sensors are in place for garage door(s) and will reverse the door.



10.9 Subpanel present in the garage serving the garage



11. Fire and Safety

Fire and safety notes

As an added ancillary feature of this inspection, the inspector will look for deficiencies in fire and safety insofar as it pertains to means of egress, smoke and carbon monoxide detectors and fire extinguishers. Each household should have a fire safety plan and emergency action plan that includes fire escape routes and emergency management. The fire plan should be practiced twice a year for familiarity.

Means of Egress Main egress doors shall be maintained unobstructed at all times. Secondary means of egress such as windows shall be maintained in good working order and unobstructed at all times. These means of egress shall be openable from the inside without the use of a key, tool, special knowledge or effort. (FBC 1003.6, 1008.1.1, 1008.1.8)

Smoke alarms and Carbon monoxide detectors: A smoke alarm or (CO/smoke detector combination) should be installed on every floor and in every bedroom. A smoke alarm should be installed at least 10 feet from cooking appliances and installed on the ceiling or high on the wall. These detectors shall be replaced every 10 years or sooner if necessary. They shall be tested on a monthly basis. Dual sensor smoke alarms are recommended because they use both ionization and photo-electric sensors. NFPA72

Fire extinguishers Portable fire extinguishers shall be maintained fully charged and in operable condition. They shall be installed conspicuously located along normal paths of travel, including exits from areas where they are readily available and unobstructed from view. Fire extinguishers should be placed on every floor of the home. There should be in the garage, laundry room, patio/ grill, each bedroom and any other source of heat. Standard ABC type fire extinguishers are adequate. The kitchen could use a class K fire extinguisher or ABC combination extinguisher. Fire extinguishers shall be visually inspected monthly and if rechargeable, serviced annually. Non rechargeable extinguishers should be replaced every 12 years. NFPA10



Styles & Materials

Means of Egress:

- Front entrance
- Rear entrance

Secondary Means of Egress (Sleeping rooms):

- Door
- Window

Fire Extinguishers:

NONE PRESENT

Smoke Alarms and Carbon Monoxide Detectors:

RECOMMEND INSTALLING NEW DETECTORS

		IN	NI	NP	RR
11.0	MEANS OF EGRESS (MAIN, SIDES, REAR)	•			
11.1	SECONDARY MEANS OF EGRESS (BEDROOMS)	•			
11.2	FIRE EXTINGUISHERS			•	
11.3	SMOKE AND CARBON MONOXIDE DETECTORS				•

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

11.0 The primary means of egress are the primary ways an occupant can escape an untenable situation. Primary means of egress are most often a door but could be another means. These primary means of egress should be maintained clear and

free of obstructions at all times. And the egress should be accessible without special knowledge or the use of any tools or keys.

11.1 The secondary means of egress are the alternative ways an occupant can escape an untenable situation if the primary means of egress is obstructed for any reason. Secondary means of egress can be a window or door or other means. Just like the primary means, the secondary means of egress should be maintained clear and free of obstructions at all times. And the egress should be accessible without special knowledge or the use of any tools or keys.

11.2 There were no fire extinguishers present in the home. It is recommended that fire extinguishers are purchased and installed in accordance to NFPA Standard 10

 **11.3** Smoke/CO detectors were noted to be present in the home. However they appear to be aged or age is not determined and recommend replacement as a matter of precautionary safety and installed in accordance to manufacturers guidelines. They are low voltage devices which are items not tested as part of a home inspection.

The inspector has inspected visible areas of the home for clear paths to and from the means of egress, secondary means of egress, presence and condition of fire extinguishers and presence and condition of smoke/carbon monoxide detectors. Any notations regarding fire ad safety concerns should be taken as recommendations and not code compliance.

General Summary



**West Palm Beach, FL 33411
561-400-0394**

Customer
Sample Report

Address
12345 S Sample Road
Jupiter Florida 33478

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Exterior

1.5 DECKS, BALCONIES, STEPS, PORCHES, PATIOS AND SCREEN ENCLOSURES

-  (3) Second floor handrail has lateral movement. It should be properly/fully secured.
-  (4) There are open gaps at the lower sides of the rear deck/patio doors. This can allow water to intrude behind the siding. Recommend sealing.

1.6 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO, WALKWAYS, GATES AND FENCING

-  (1) Multiple areas of ground and soil erosion adjacent to the building structure around the perimeter. It is recommended to grade these areas using aggregate or other means to allow water to drain away from building.
-  (2) Vegetation in contact with the structure should be trimmed back or removed. Vegetation in contact with the structure can allow moisture and pest entry into the home.

1.7 INGROUND POOL, SPA AND EQUIPMENT AND POOL DECK AND FENCING

-  (2) Area of filter with a leak
-  (3) There does not appear to be a bonding wire to the pool pump. Bonding wires properly bond/ground the pool system to prevent electrical hazards.
-  (4) There does not appear to be access or presence of a skimmer. No attempt to search below the decking. No further action was taken.

1.10 EXTERIOR ELECTRICAL

-  (1) Uncovered box with live wiring
-  (2) Loose, detaching exterior light fixture
-  (3) The exterior electrical receptacle did not have GFCI protection. The GFCI receptacle should be replaced.
-  (4) Open visible wiring at the rear deck should be properly housed or removed

1.11 EXTERIOR VENTS

-  Dryer vent should not be screened otherwise it will accumulate lint and cause reduced air flow and increase risk of fire

1.12 OPEN GAPS

-  Open gaps in exterior walls should be sealed and finished to prevent moisture and pest entry.

1.13 OTHER

-  (1) Unsecured water line
-  (2) Exterior electrical meter housing is deteriorated. The condition behind this area is not known.
-  (3) There is a solar heating system installed on the roof. It was conveyed to me by the seller that the system does not work and has a leak. This system is not within the scope of an inspection and is disclaimed and not inspected or tested.

2. Roof**2.0 ROOF COVERINGS**

-  (2) There is a home made "ladder" at the roof adjacent to the skylight. It is deteriorated and is not safe to use. The attachment screws through the roofing can cause leaks. It should be removed and any attachment holes properly sealed.
-  (3) Visible evidence of shingle degranulation and unbonded tiles. As roof coverings age and weather, they start to lose their granules and become less effective as they approach life expectancy.
-  (4) The chimney has soil and vegetation type debris accumulation. This area is highly susceptible to water intrusion. This area should be maintained clear and clean of debris. Due to the soil and debris, it is not known if there is the presence of a cricket/flashing installed. This area should be monitored.

2.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

-  (1) This area of the chimney should be monitored. It is ideal to have kick flashing installed in order to divert rainwater away from the chimney. These areas could be possible areas of water intrusion.
-  (2) Damaged shingle/flashing at a roof penetration. This could be an area of potential leakage

2.3 ROOF GUTTER & DRAINAGE SYSTEMS

-  The gutters should be serviced and cleaned to prevent buildup of debris and obstruction of downspouts

3. Appliances**3.0 DISHWASHER**

-  There is a leak at the right side of the front of the dishwasher. Water/moisture was noted using the thermal imaging camera.

3.1 RANGES/OVENS/COOKTOPS/RANGE HOOD

-  (2) The range hood vent fan is noisy on the higher settings but is normal on the low setting.

3.2 FOOD WASTE DISPOSER

-  Waste disposal is operating but makes excessive noise.

4. Doors, Windows and Interior**4.0 CEILINGS, WALLS, FLOORS and TRIM**

-  (2) There are minor surface type imperfections to the finished drywall of the walls or ceilings. These are considered cosmetic in nature but noteworthy since they were not originally designed that way. They should be repaired and finished.

4.1 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

 The spacing between the bannisters are greater than 4 inches which in width which potentially could be a child safety issue. If small children will be residing in the home, attention should be given to this spacing.

4.2 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

 Several cabinet doors do not properly line up. Misalignment possible due to hinge adjustment or cabinets not installed squarely.

4.4 SHOWERS AND BATHS

 There are open gaps at the water penetrations and these gaps should be sealed to prevent moisture and pest entry and drawing air from the wall cavities

4.6 WINDOWS (REPRESENTATIVE NUMBER)

 Numerous windows are difficult to operate. Recommend service to all windows for proper and efficient operation.

4.7 EVIDENCE OF MOISTURE OR MOLD

 (1) Area in the first floor bedroom identified to have elevated moisture levels. These areas should not have elevated moisture levels. These areas should be monitored. If the moisture level continues or increases, then invasive measure must be taken in order to identify the origin and correct the issues.

 (3) Dishwasher has a leak at the lower, right corner

 (4) Small section of wall adjacent to the shower has elevated moisture levels.

4.11 OPEN GAPS

 There is a louver installed at the wall adjacent to the washer and dryer. It appears to be covering a section of wall that has been opened up. There may have been previous plumbing work performed at this area. This louver is open to the wall cavity and can possible be open to the attic. Air flow can potentially draw hot, moist attic air into the living spaces and vice versa. Recommend replacing this louver with a solid cover.

6. Plumbing**6.4 HOT WATER SYSTEMS, CHIMNEYS, FLUES AND VENTS**

 (2) The water heater has exceeded the average life expectancy for similar units, the system is operational at this time but it can be anticipated that a replacement may be necessary in the near future

6.5 WHOLE HOUSE FILTRATION SYSTEM

 (2) There are no bonding wires to the well pump. This can be a electrical safety hazard

6.7 SEPTIC SYSTEM

 There is a septic system installed on the property. The septic system inspection was outsourced to a third party septic company. Their report will be made available in addition to this report

11. Fire and Safety**11.3 SMOKE AND CARBON MONOXIDE DETECTORS**

 Smoke/CO detectors were noted to be present in the home. However they appear to be aged or age is not determined and recommend replacement as a matter of precautionary safety and installed in accordance to manufacturers guidelines. They are low voltage devices which are items not tested as part of a home inspection.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or

guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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